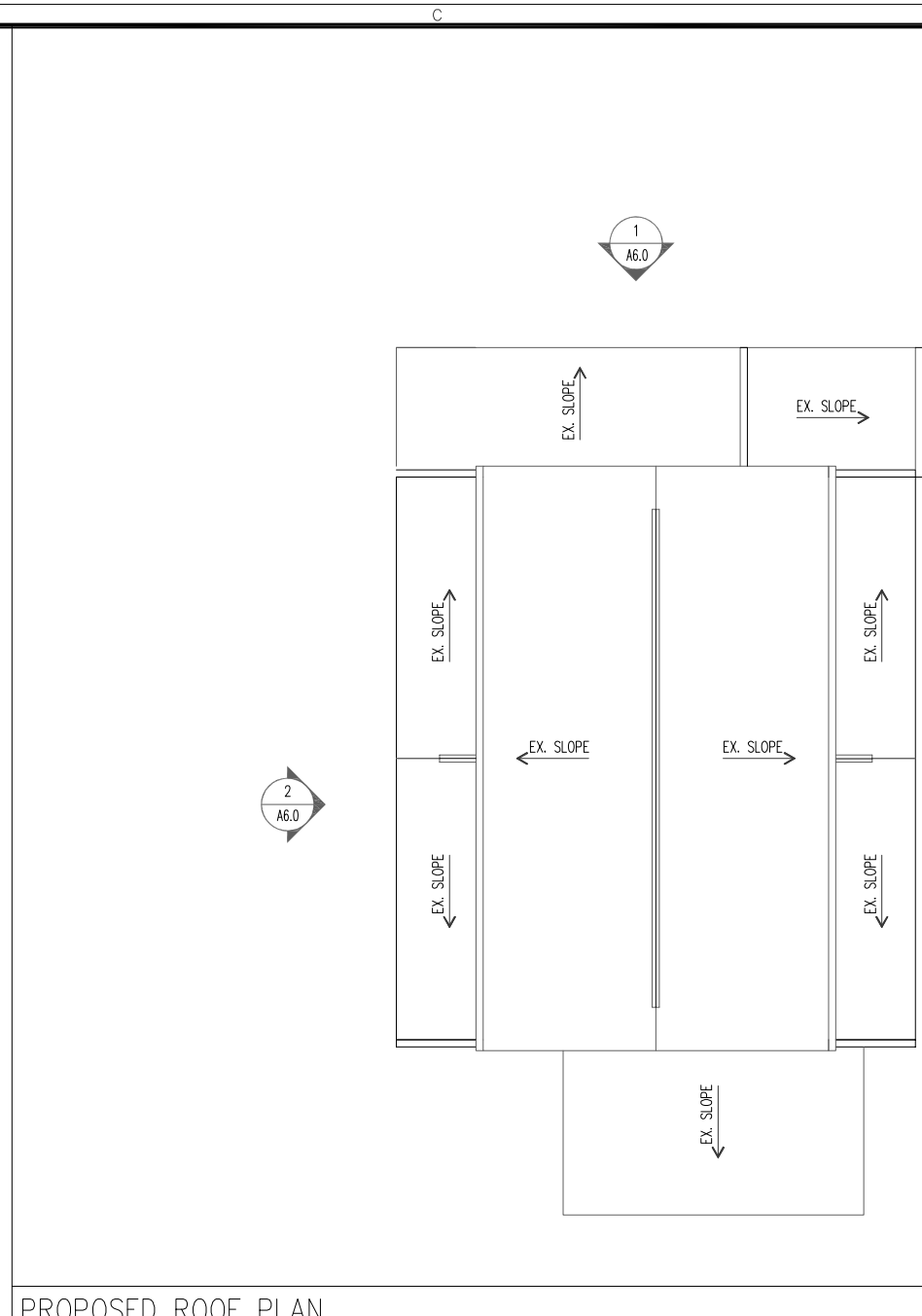
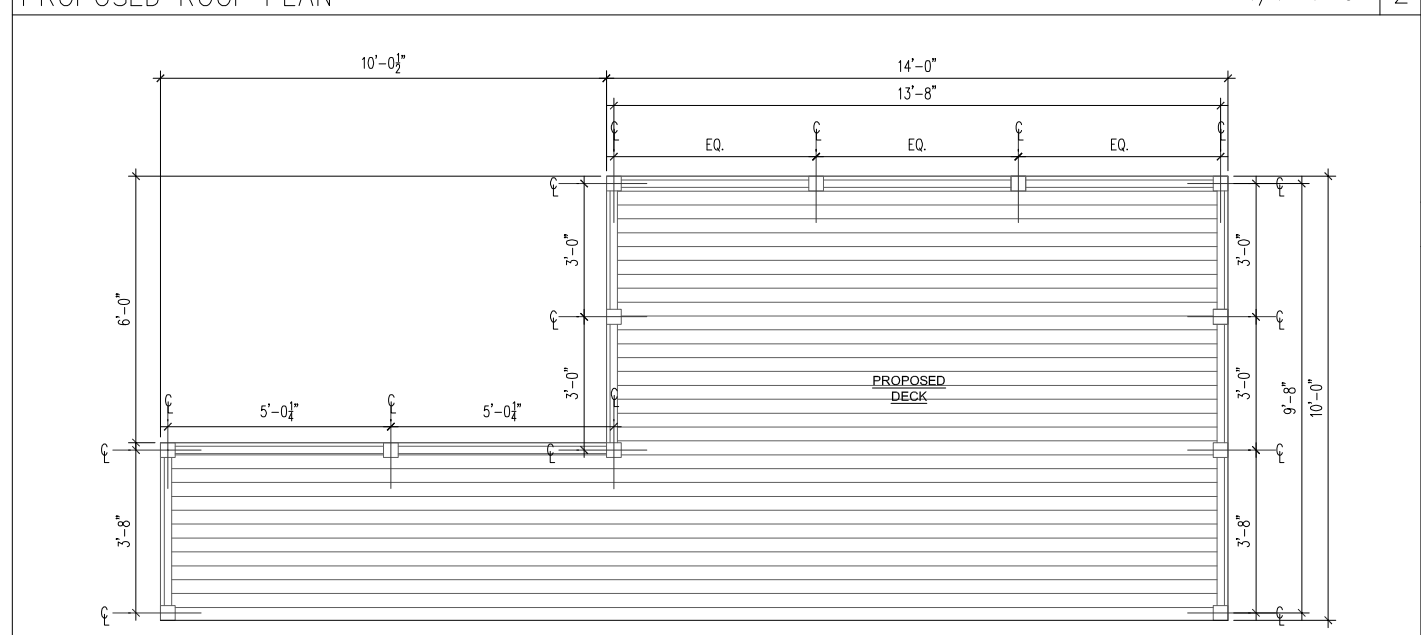


PROPOSED FIRST FLOOR PLAN 1/4"=1'-0" 1

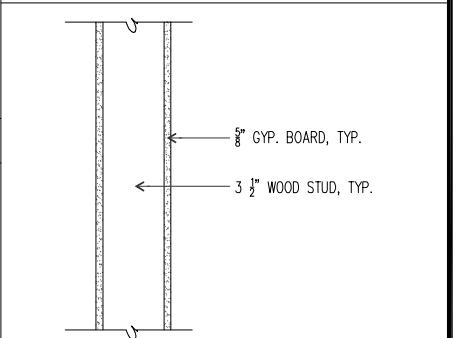


PROPOSED ROOF PLAN 1/4"=1'-0" 2

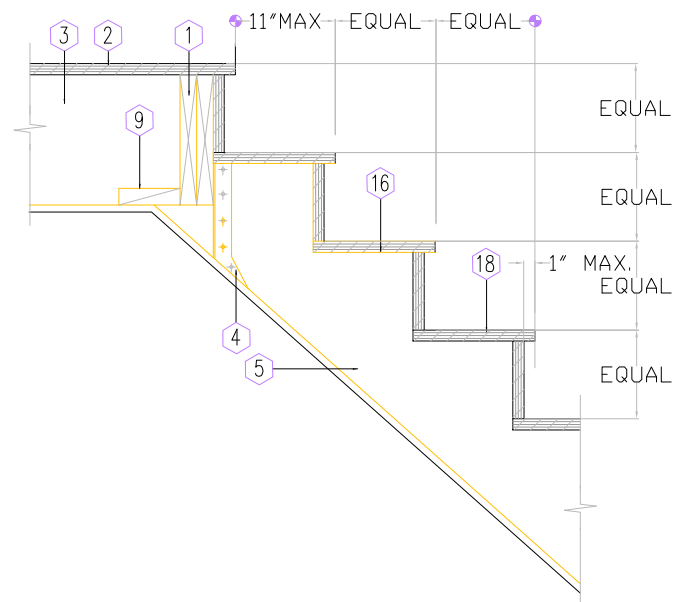


ENLARGED DECK PLAN 1/2"=1'-0" 3

- LEGEND :
- EX. WALL TO REMAIN, TYP.
 - NEW WALL, TYP.
- GENERAL NOTES
- PLAN NOTES:
1. FOR ADDITIONAL STRUCTURAL INFORMATION REFER TO FRAMING PLANS.
 2. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.
 3. WINDOW SIZES INDICATED ON PLANS ARE NOTED BY APPROXIMATE ROUGH OPENING SIZE, REFER TO PLANS AND EXTERIOR ELEVATIONS FOR WINDOW TYPES.
 4. CONTRACTOR SHALL COORDINATE ALL CLOSET SHELVING REQUIREMENTS.
 5. DO NOT SCALE DRAWINGS, FOLLOW DIMENSIONS ONLY.
 6. CONTRACTOR SHALL FIELD VERIFY ALL CABINET DIMENSIONS BEFORE FABRICATION.
 7. BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ.FT., A MINIMUM NET CLEAR OPENABLE WIDTH OF 20", A MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND HAVE A MAXIMUM FINISH SILL HEIGHT OF 43" FROM FINISH FLOOR.
 8. ALL GLASS LOCATED WITHIN 18" OF FLOOR, 12" OF A DOOR OR LOCATED WITHIN 60" OF FLOOR AT BATHTUBS, WHIRLPOOLS, SHOWERS, SAUNAS, STEAM ROOMS OR HOT TUBS SHALL BE TEMPERED.
 9. ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.
 10. PROVIDE COMBUSTION AIR VENTS, WITH SCREEN AND BACK DAMPER, FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME.
 11. BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 90 CFM FAN. RANGE HOODS SHALL ALSO BE VENTED TO OUTSIDE.
 12. ATTIC HVAC UNITS SHALL BE LOCATED WITHIN 20' OF ITS SERVICE OPENING. RETURN AIR GRILLES SHALL NOT BE LOCATED WITHIN 10 FEET OF A GAS FIRED APPLIANCE.
 13. ALL INTERIOR WALLS SHALL BE COVERED WITH 1/2" GYPSUM BOARD, WITH METAL CORNER REINFORCING TAPE FLOAT AND SAND. (3 COATS) USE 5/8" GYPSUM BOARD ON CEILINGS WHEN SUPPORTING MEMBERS ARE 24" O.C. OR GREATER. USE 1/2" GYPSUM BOARD ON CEILING MEMBERS LESS THAN 24" O.C.
 14. ALL BATH AND TOILET AREA WALLS AND CEILINGS SHALL HAVE WATER RESISTANT GYPSUM BOARD.
 15. PROVIDE DOORBELLS, TRANSFORMER, AND CHIME.
 16. PROVIDE SMOKE DETECTORS AS REQUIRED BY CODE.

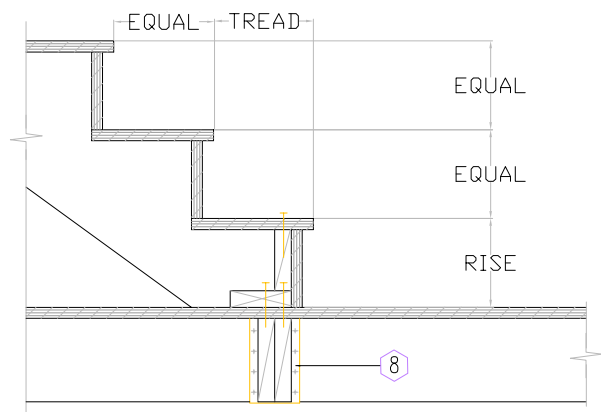


TYP. PARTITION 1 1/2"=1'-0" 2



A- STAIR HEAD CONNECTION

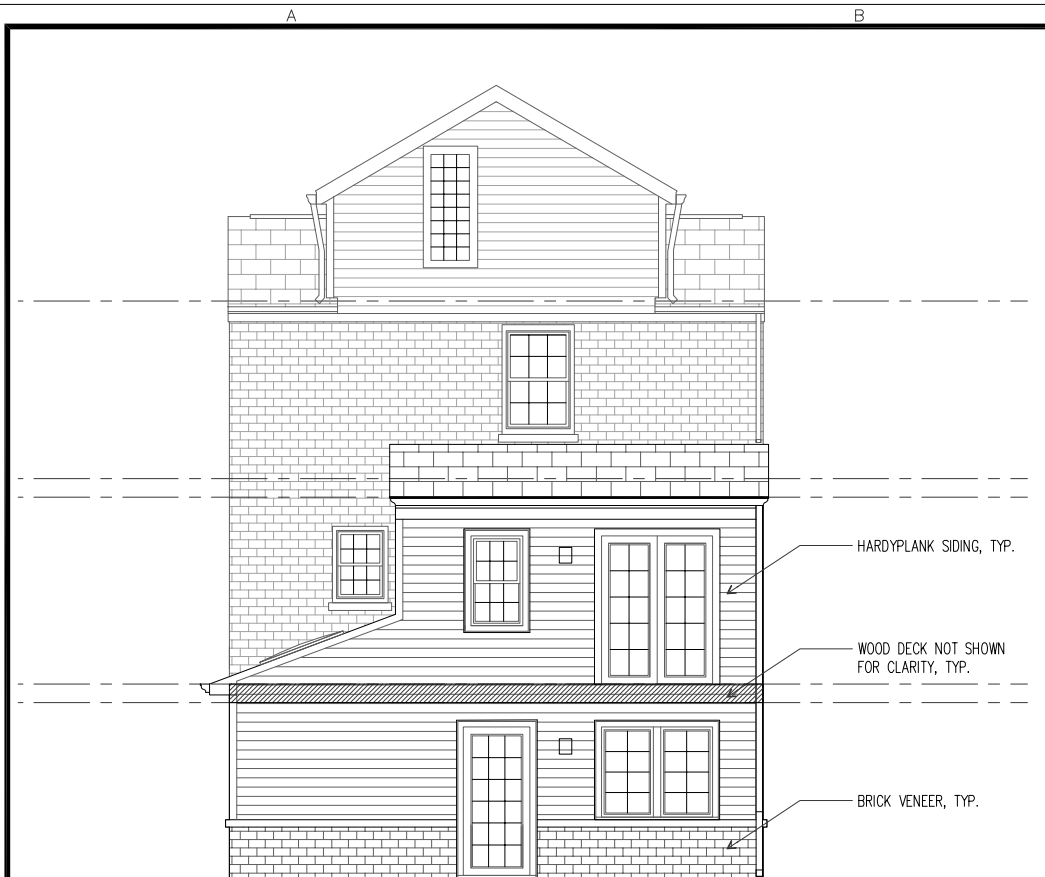
1/4"=1'-0" 2



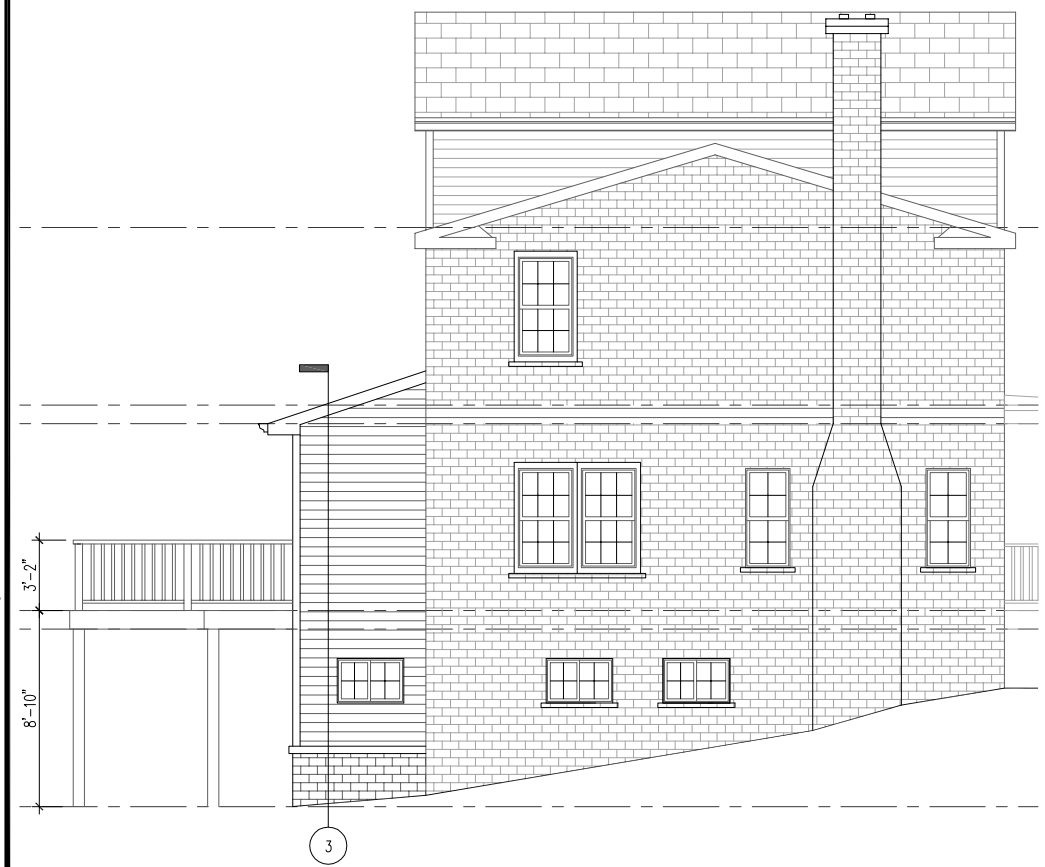
B-STAIR SILL AT FLOOR

1/4"=1'-0" 3

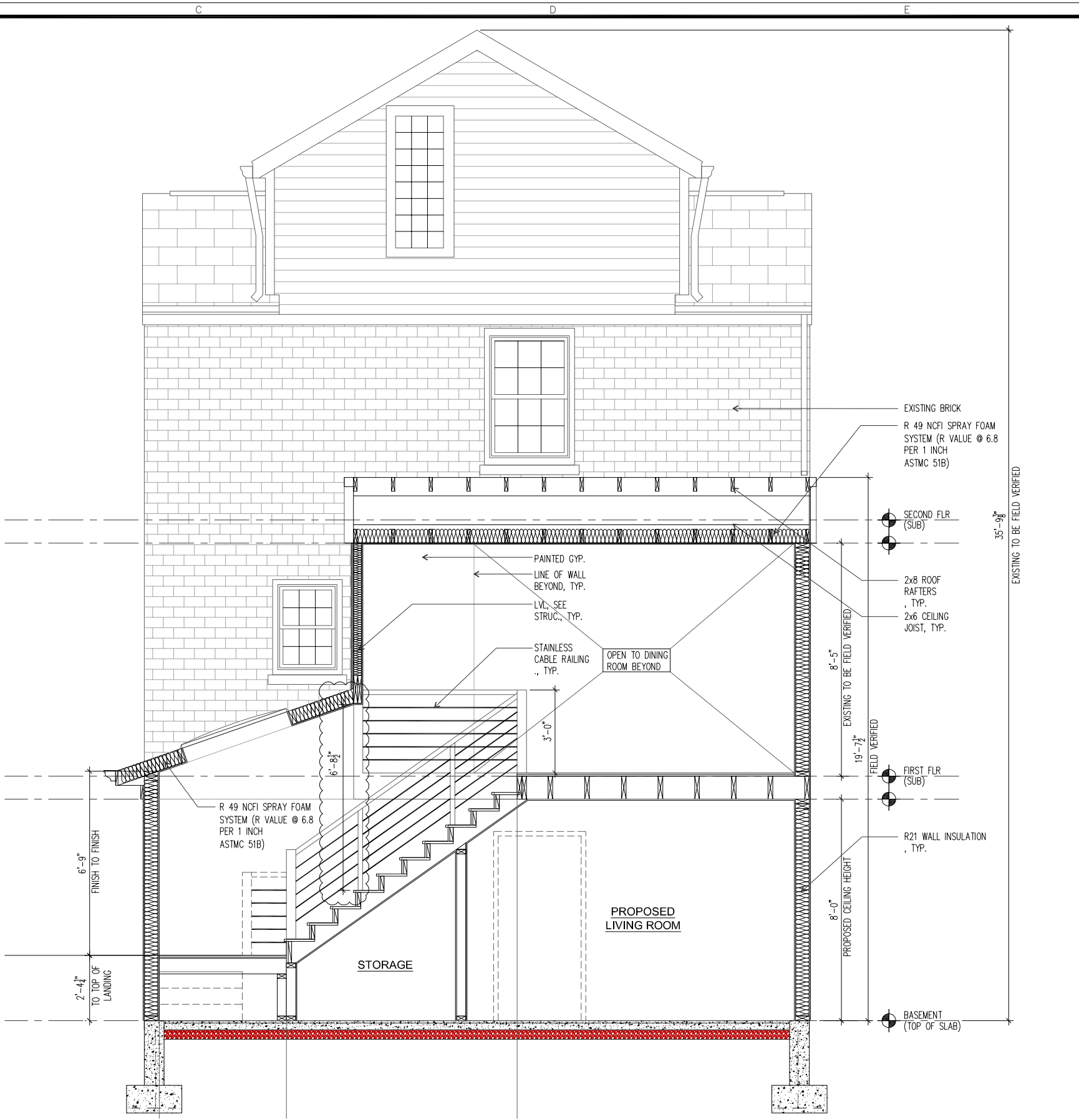
- LEGEND:
- 1 DOUBLE 2X FLOOR JOISTS, TYP.
 - 2 PLYWOOD SUBFLOOR, TYP.
 - 3 FLOOR JOIST, TYP.
 - 4 "SIMPSON" HANGER, TYP.
 - 5 2X12 STAIR STRINGERS AT 12" O.C. W/ ONE ADJACENT TO WALL TYPICAL EACH SIDE, TYP.
 - 6 NOTE: CUT PLYWOOD RISER OR TREADS, FASTEN TO 2X STAIR STRINGERS W/ GLUE AND SCREWS, TYP.
 - 7 NOTE: ALLOW FOR FINISH ON PLYWOOD.
 - 8 "SIMPSON" HU JOIST HANGERS DOUBLE BLOCKING TO FLOOR JOIST, TYP.
 - 9 BLOCKING, TYP.



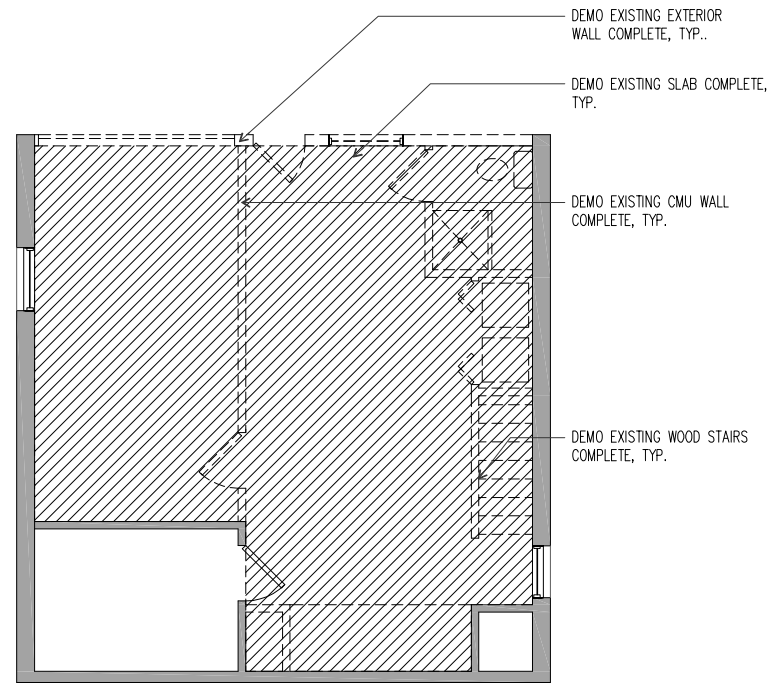
PROPOSED REAR ELEVATION 1/4"=1'-0" 1



PROPOSED LEFT ELEVATION 1/4"=1'-0" 2



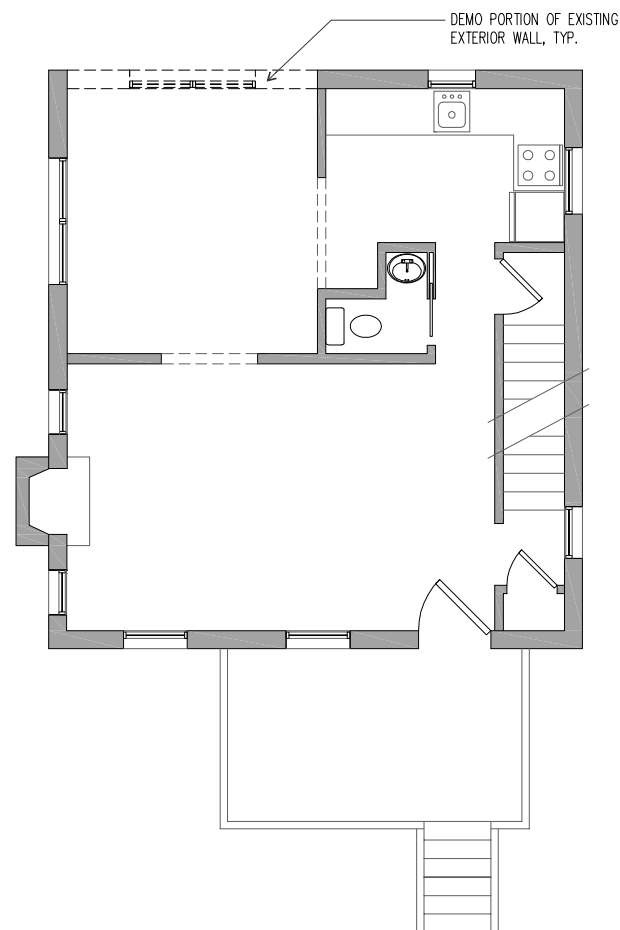
BUILDING SECTION 1/2"=1'-0" 3



DEMO BASEMENT FLOOR PLAN

1/4"=1'-0"

1



DEMO 1ST FLOOR PLAN

1/4"=1'-0"

2

LEGEND :

- EX. WALL TO REMAIN, TYP.
- EXISTING TO BE DEMOLISHED.

GENERAL DEMOLITION NOTES

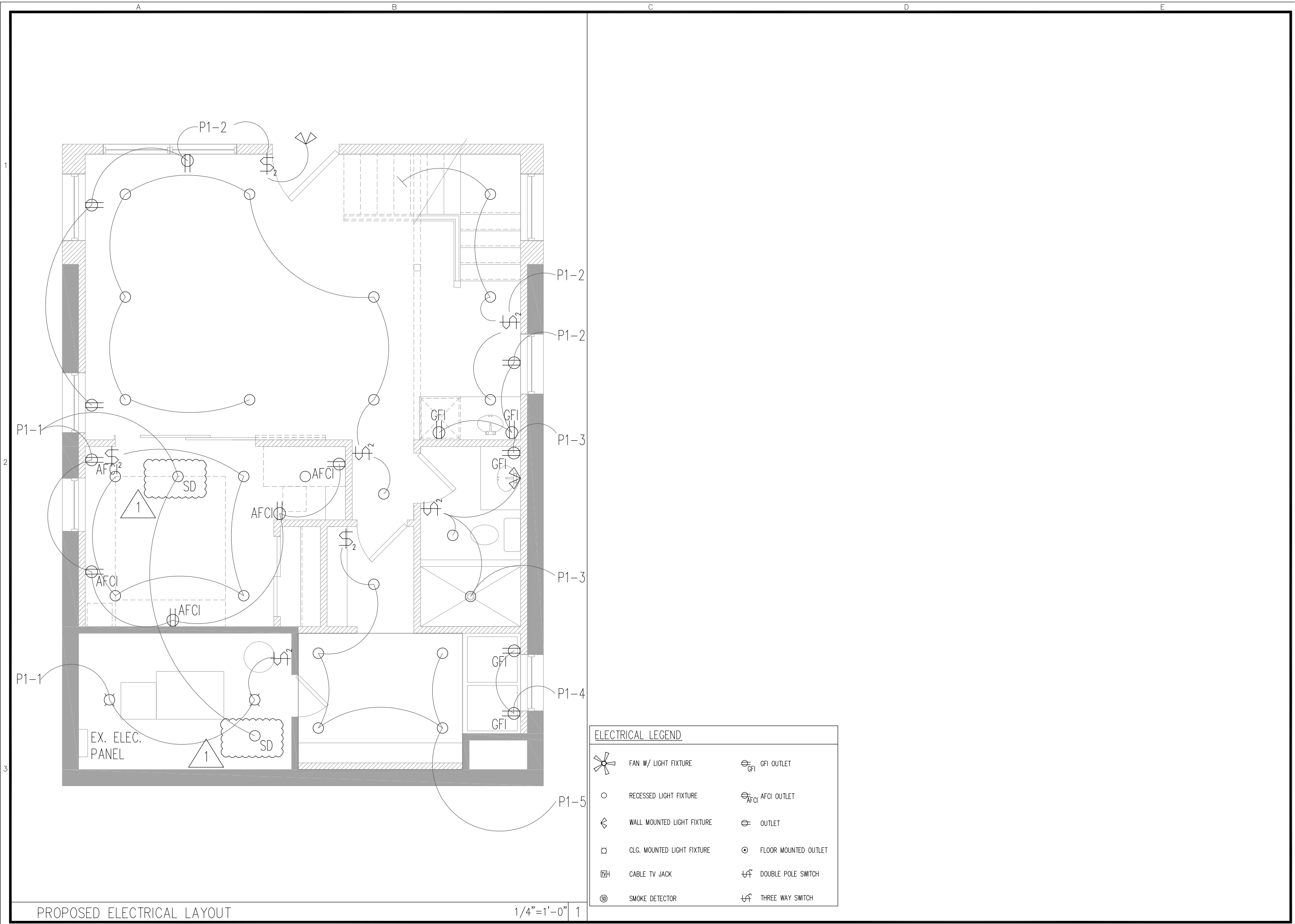
1. CUT AND REMOVE MATERIALS AS INDICATED AND AS NECESSARY TO RESTORE SURFACES TO "LIKE NEW" CONDITION WITHOUT AWKWARD TRANSITIONS.
2. EXECUTE ALL DEMOLITION WORK IN AN ORDERLY AND CAREFUL MANNER WITH UTMOST CARE FOR THE EXISTING BUILDING, INCLUDING ANY PARTS OF THE SURROUNDING AREAS WHICH ARE TO REMAIN. BARRICADE AND COVER TO PROTECT OCCUPANTS PEDESTRIANS, WORKMEN, AND ADJACENT PROPERTIES. PERIODICALLY
3. PROTECT EXISTING BUILDING AND ADJACENT SURFACES, FEATURES, AND PROPERTY. REMOVE DEBRIS FROM SITE DAILY. INTERFERENCE WITH THE USE OF OTHER FACILITIES SHALL BE KEPT TO A MIN.
4. ALL UNSALVAGEABLE MATERIALS SHALL BE REMOVED IN A MANNER THAT WILL AVOID DAMAGE TO MATERIALS OR EQUIPMENT TO REMAIN AND SHALL BE COMPLETELY REMOVED AND LEGALLY DISPOSED.
5. GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY BRACING, SHORING, AND SUPPORT DURING DEMOLITION CUTTING, REMODELING AND RELATED NEW CONSTRUCTION AS NECESSARY FOR THE EXECUTION OF THE WORK AND THE PROTECTION OF THE PERSONS AND THE PROPERTY. GENERAL CONTRACTOR SHALL ENGAGE THE SERVICES OF A REGISTERED PROFESSIONAL ENGINEER LICENSED IN THE STATE OF THE PROJECTS LOCATIONS, TO PROVIDE CERTIFIED DESIGN OF TEMPORARY SHORING, BRACING.
6. PROVIDE PROTECTIVE COVERINGS AND ENCLOSURES NECESSARY TO PREVENT DAMAGE TO EXISTING PREVENT DAMAGE TO EXISTING SPACES AND MATERIALS TO REMAIN, PROTECT OPENINGS IN EXTERIOR WALLS AND ROOFS SO AS TO PREVENT DAMAGE FROM WATER AND PREVENT EXCESSIVE HEAT OR COOLING LOSS FROM THE EXISTING BUILDING.
7. PATCH EXISTING CONSTRUCTION TO MATCH EXISTING ADJACENT SURFACE OR MATERIAL. EXAMINE EXISTING SURFACES TO BE ALL CONDITIONS WHERE EXISTING MATERIALS, COLORS AND FINISHES CAN'T BE MATCHED TO THE ARCHITECT.
8. EXISTING CONSTRUCTION THAT HAS BEEN DAMAGED AS A RESULT OF THE WORK SHALL BE REPAIRED AS AS REQUIRED TO MATCH ADJACENT EXISTING UNDAMAGED
9. WEIGHT OF CONTRACTORS EQUIPMENT SHALL NOT EXCEED THE DESIGNED LIVE LOAD OF THE EXISTING WOOD JOIST FLOOR: FIRST FLOOR.
10. VERIFY/COORDINATE WITH OWNER FOR SAVING, RELOCATION AND/OR REUSE OF EXISTING FIXTURES.

WALLS:

GC TO PATCH AND REPAIR EXISTING GYP BOARD AS REQUIRED ON ALL REMAINING WALLS. THIS INCLUDES PREPPING EXISTING WALLS TO RECIEVE PAINT AS INDICATED ON PLANS. GC TO REPAIR ALL CHIPPED CMU AS REQUIRED.

FLOOR:

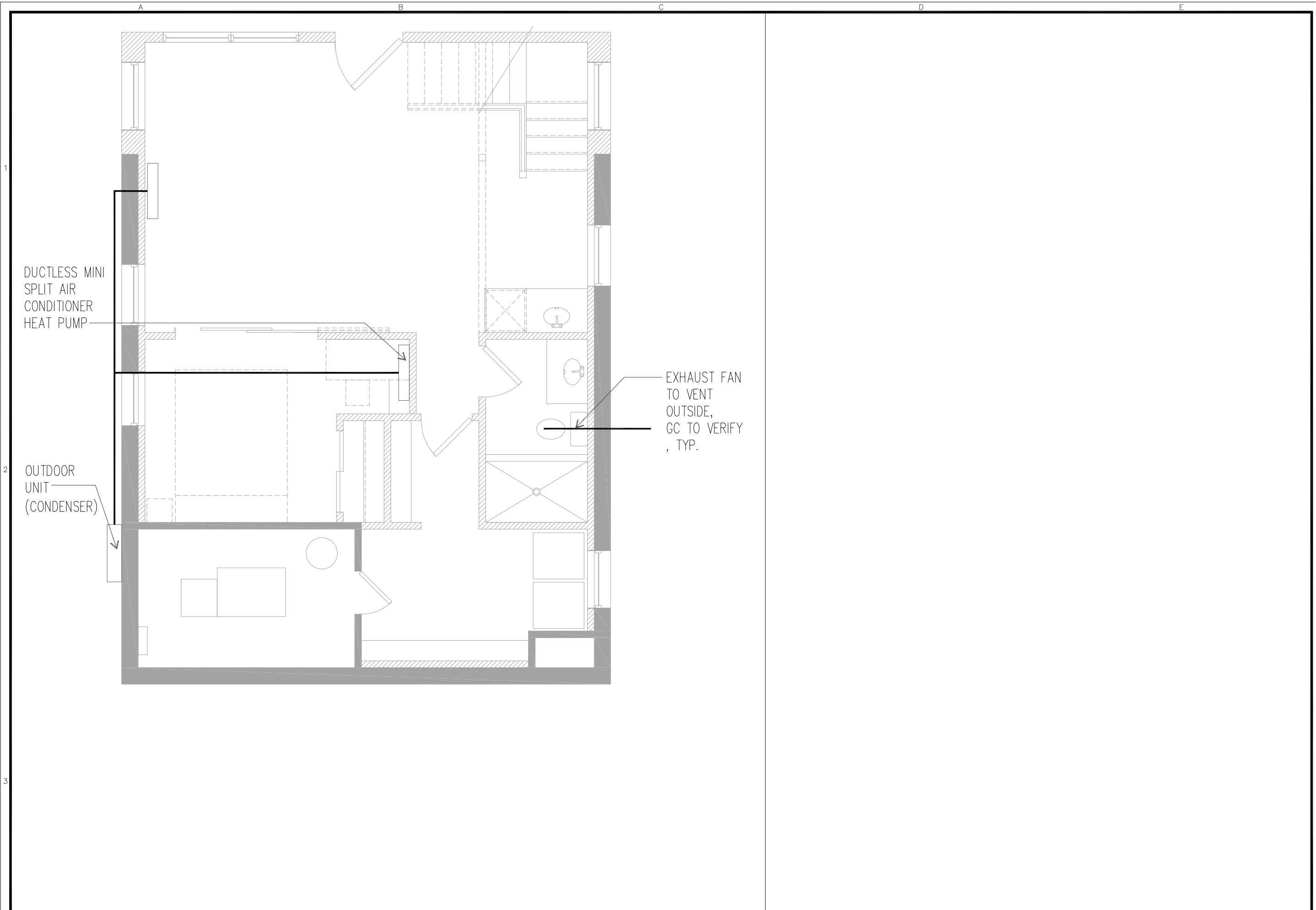
GC TO REPAIR FLOORING WHERE NECESSARY.



PROPOSED ELECTRICAL LAYOUT

1/4"=1'-0" 1

ELECTRICAL LEGEND	
	FAN W/ LIGHT FIXTURE
	RECESSED LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	CLG. MOUNTED LIGHT FIXTURE
	CABLE TV JACK
	SMOKE DETECTOR
	GFI OUTLET
	AFCI OUTLET
	OUTLET
	FLOOR MOUNTED OUTLET
	DOUBLE POLE SWITCH
	THREE WAY SWITCH



PROPOSED MECHANICAL LAYOUT

1/4"=1'-0" 1

A

B

C

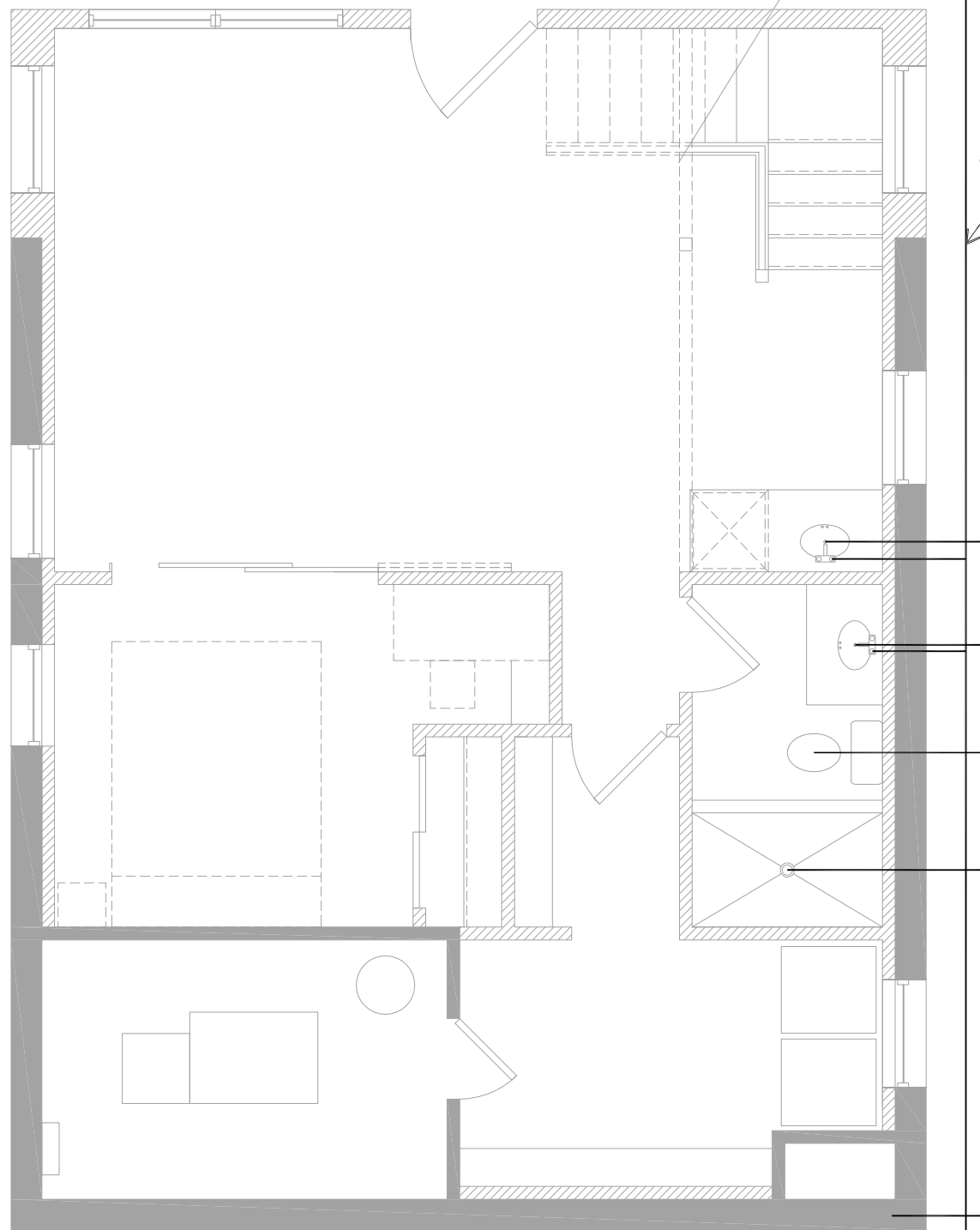
D

E

1

2

3



4" EX. SAN. SYSTEM

1/2" HW & CW
TYPICAL.

SANITARY LINE
SEE RISER DIAGRAM
FOR DETAILS

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